



**Clear Creek County Annex
Community Development**

**Site Development
Driveway Requirements**

**PO Box 2000/ 1111 Rose St,
Georgetown, CO 80444
Phone 303-679-2430
Fax 303-569-1103**

<http://www.co.clear-creek.co.us/index.aspx?nid=96>

Clear Creek County Site Development

The Clear Creek Board of County Commissioners has adopted design standards for the construction of driveways. These design standards were developed with the intent to provide reasonable ingress and egress for emergency vehicles.

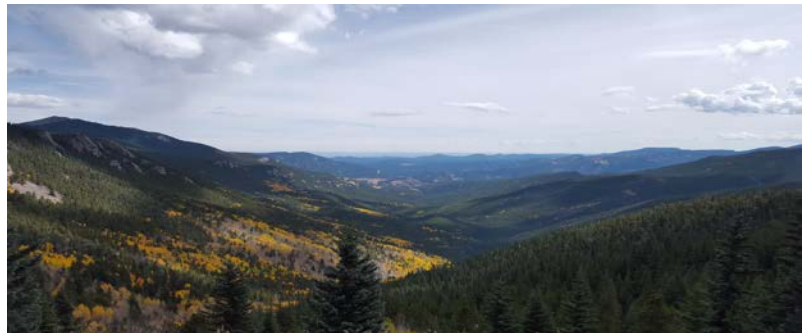


The complete **Clear Creek County Driveway Design Standards** are available at

<http://www.co.clear-creek.co.us/DocumentCenter/Home/View/519>

The complete **Clear Creek County Excavating and Grading Standards** are available at

<http://www.co.clear-creek.co.us/DocumentCenter/Home/View/1024>



© ALL NEW DRIVEWAYS SHALL BE ENGINEERED BY A LICENSED COLORADO ENGINEER THAT MEETS ENGINEERED GRADING REQUIREMENTS OUTLINED IN *SECTION X107.4* OF THE 2009 IRC AND THE 2009 IBC.

Driveway and Site Excavation Application Requirements

All driveways, road cuts or building site excavations in Clear Creek County **MUST** have a driveway and excavation permit **applied for and issued** before any excavation begins, whether the construction site is on a county maintained or non – maintained road. Please contact the Road and Bridge Department for any road cut permits needed for utility installation.

All new driveways shall be engineered by a licensed Colorado engineer that meets engineered grading requirements outlined in Section x107.4 of the 2009 IRC and the 2009 IBC.

The proposed driveway centerline, excavation site and/or building footprint and adjacent property lines shall be staked out in advance of the initial inspection.

The following detail must be depicted on both your application and scaled site plan:

SCALED SITE PLAN (<u>MUST</u> BE COMPLETE with the following criteria)			
SITE PLAN MUST INCLUDE THE FOLLOWING:			
YES	NO	N/A	
			• Plan is drawn to scale & is a common engineering scale (i.e. 1”=20’)
			• Scale is larger than 1”=50’
			• Title block, written & graphic scale, north arrow designating true north
			• Legend
			• Property boundary(s) of the subject property(s), indicating front, rear & side lines & dimensions
			• Total acreage or square footage of parcel
			• Driveway Turnaround
SCALED SITE PLAN (<u>MUST</u> BE COMPLETE with the following criteria)			
SITE PLAN MUST INCLUDE THE FOLLOWING:			
YES	NO	N/A	
			• Building envelope(s), if applicable
			• Location and dimensions of all existing and proposed roads, both on and adjacent to the subject property, including access road, right – of – way, driveways, turnouts/turnarounds, easements (attach easements and CDOT assess permit if applicable)
			• Location and dimension of any PROPOSED building/structures, retaining walls
			• Location and dimension of any EXISTING building/structures, retaining walls
			• Location and dimension of any PROPOSED well, septic tank(s) & leach field
			• Location and dimension of any EXISTING well, septic tank(s) & leach

			field
			<ul style="list-style-type: none"> • Locations and dimension and count for all existing and proposed parking lots and spaces
			<ul style="list-style-type: none"> • Location and dimension of all existing and proposed utilities & utility easements, including water & sewer lines
			<ul style="list-style-type: none"> • Location and dimensions of all existing and proposed drainage devices
			<ul style="list-style-type: none"> • Erosion control features types and placement, permanent and temporary
			<ul style="list-style-type: none"> • Square footage of each building/structure's footprint
			<ul style="list-style-type: none"> • Setbacks from building and structures (all sides), measured in feet. Setbacks must be identified from the nearest lot line, road right – of – way, or platted right – of – way, whichever is closest, to the eaves or projections from the building or structure (including decks)
			<ul style="list-style-type: none"> • Actual width of the access road as traveled, as well as the width of the right of way
			<ul style="list-style-type: none"> • Distance from the driveway to the nearest road intersection
			<ul style="list-style-type: none"> • Surface width of the proposed driveway, total length of the proposed driveway
			<ul style="list-style-type: none"> • Horizontal angle of the approach where the driveway intersects the access road must be shown.
			<ul style="list-style-type: none"> • Maximum grade of the proposed driveway and the length of any part(s) of the driveway which will exceed 10% grade must be shown.
			<ul style="list-style-type: none"> • Inside turning radius of each switchback of the proposed driveway must be shown.
			<ul style="list-style-type: none"> • Location and dimension of proposed rooftop runoff infiltration system (all roof structures in excess(1,750 sq ft)

IF NO IS CHECKED OFF IN ANY CATEGORY, THE SITE PLAN WILL NOT BE ACCEPTED

All Driveway Permits are reviewed by the County's engineering consultant. As such, the review fee charged by the consultant, plus a 5% administrative fee, is charged to the applicant.



"Honoring Our Past,
While Designing Our Future"

DRIVEWAY & BUILDING SITE EXCAVATION APPLICATION

CLEAR CREEK COUNTY SITE DEVELOPMENT DEPARTMENT

PO BOX 2000 / 1111 ROSE STREET, GEORGETOWN, CO 80444 ☎ 303-679-2352 ☎ 303-679-2421

☎ 303-569-1103 <http://www.co.clear-creek.co.us/index.aspx?nid=96>

If the applicant is not the legal owner of the property, a signed and notarized **Landowner Authorization** is required, appointing the applicant to process applications/forms for permits or other Community Development processes on the owner's behalf.

Fees:

See Fee Schedule

No person shall conduct any earth disturbing activity without first obtaining a permit. If work begins without a permit, all necessary permits will be double fee.

The applicant is responsible for the accuracy and completeness of all information submitted to the Site Development Department.

SITE INFORMATION	
Parcel # or Legal description: _____ _____ _____	Access Road Name or Number: _____ _____ Site Address(if existing): _____ _____
APPLICANT	
Signed and notarized Landowner Authorization form <input type="checkbox"/> yes (please attach) <input type="checkbox"/> no (not applicable)	
Name: _____ _____	Name: _____ _____
Additional Name: _____	Company: _____
Mailing Address: _____	Additional Name: _____
City: _____ State: _____ Zip Code: _____	Mailing Address: _____
Phone: _____ Cell: _____	City: _____ State: _____ Zip Code: _____
Email: _____	Phone: _____ Cell: _____
	Email: _____
PROJECT TYPE AND USE (Check all that apply)	
Project Type: <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Rehabilitation	
Primary Use: <input type="checkbox"/> Driveway <input type="checkbox"/> Building Site Excavation	
Building Type: <input type="checkbox"/> Single Family <input type="checkbox"/> Duplex/Townhome <input type="checkbox"/> Commercial <input type="checkbox"/> Multi-Family <input type="checkbox"/> Demo	
Accessory Use: <input type="checkbox"/> Garage _____ Attached _____ Detached <input type="checkbox"/> Accessory structure <input type="checkbox"/> Parking Area <input type="checkbox"/> Bridge	
<input type="checkbox"/> Retaining Wall <input type="checkbox"/> Other _____	

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INFORMATION REQUIRED FOR ALL PROJECTS		
<input type="checkbox"/> Zoning Approval Form (signed-off by Planning Department)	<input type="checkbox"/> Copy of easement(s)	<input type="checkbox"/> Copy of CDOT or other Access Permit(s), as required
<input type="checkbox"/> Scaled Site Plan (Refer to Application Information page for requirements)	<input type="checkbox"/> Copy of Army Corps of Engineers Permit(s), as required	
Frontage of lot along access road _____ ft	As-traveled width of access road _____ ft / Right-of-way width of access road, if different _____ ft	
Sight distance along access road from driveway: Left _____ ft Right _____ ft		
Distance from driveway to nearest road intersection _____ ft	Horizontal angle of driveway approach to access _____ %	
Width of proposed primary driveway _____ ft	Total length of proposed primary driveway _____ ft	
If add'l. driveway requested, width of secondary driveway _____ ft	If add'l. driveway requested, length of secondary driveway _____ ft	
Maximum grade of proposed driveway _____ %	Length of section(s) exceeding 10% grade _____ ft _____ ft	
Inside turning radii of each turn: 1 st turn _____ ft 2 nd turn _____ ft 3 rd turn _____ ft		
Is a culvert required <input type="checkbox"/> Yes <input type="checkbox"/> No	Size in Diameter _____ in Length _____ ft Material _____ ft	
Estimated total volume of earth to be moved (c.y.) _____		
Cut(c.y.) _____ Fill (c.y.) _____		
Total area of site disturbance (s.f.) _____		
Areas and types of proposed mitigation to control off-site erosion (attach description and indicate on Site Plan) _____ _____ _____		
Proposed revegetation schedule (attach description and indicate on Site Plan) _____ _____ _____		
NOTE: SCALED SITE PLAN MUST BE SUBMITTED WITH APPLICATION (See Site Plan requirements on permit information page)		

Disclaimer:

By signing below, I understand that:

- I (We) certify that the information I have provided is true and correct to the best of my knowledge.
- I (We) do hereby further agree to abide by the agreements, conditions and stipulations that are a part of this request.
- I (We) will allow the Site Development Department staff to go onto my property in order to process this request.

Applicant's Signature

Date